

AS-BUILT / EXISTING-CONDITIONS PERMIT PACKAGE

4914 Chapman St, Fort Worth, TX 76105

DRAWING INDEX

SHEET GENERAL	TITLE
G-0	Cover / Drawing Index / Code Summary
G-1	Code & Life-Safety Summary
CIVIL / SITE	
C-1	Site / Plot Plan
ARCHITECTURAL	
A-1	As-Built Floor Plan
A-2	Door & Window Schedules / Notes
A-3	Existing-Conditions Documentation
MEP (EXISTING / SCHEMATIC)	
E-1	Electrical Plan / Existing Inventory
M-1	Mechanical / HVAC Plan
P-1	Plumbing Plan

PROJECT DATA

Project	Residential remodel (existing)
Occupancy	R-3 single-family (verify)
Construction	Type V-B (verify)
Stories	1
Existing area	~1,620 sq ft (field)
Lot / parcel	Tarrant CAD (verify)
Elec. service	200 A, 1Ø (existing)
GPS	32.72356, -97.24887

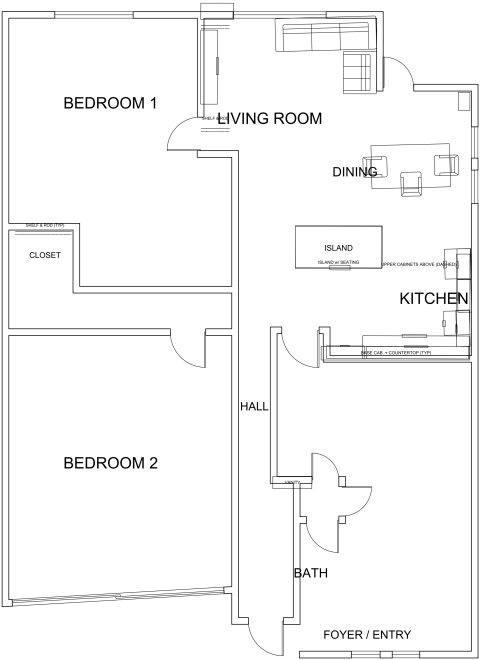
CODE SUMMARY

- 2021 IRC (International Residential Code)
- 2020 NEC (NFPA 70)
- 2021 IMC / IPC / IFGC (mech / plumb / fuel-gas)
- 2021 IECC (energy)
- City of Fort Worth local amendments

SCOPE OF THIS SET

Documents EXISTING conditions captured on site.
Geometry from the JALM identified 3D model.
MEP shown is existing / schematic.
Proposed design, calcs, structural, site-civil &
energy (REScheck) by the licensed pro of record.

KEY PLAN



Existing as-built footprint · see A-1

LOCATION

4914 Chapman St, Fort Worth, TX 76105
N 32°43'24.8" W 97°14'55.9" (32.72356, -97.24887)

Field Reality. Technical Clarity.
Reality Capture · As-Built · jalmindustrialsolutions.com

PROJECT
Residential Remodel

As-Built / Existing
ADDRESS
4914 Chapman St

Fort Worth, TX 76105

Tarrant County

DATE 2026-06-24	SCALE as noted
DRAWN JALM	PROJECT No. JALM-2026-0608

PROFESSIONAL SEAL & SIGNATURE



SIGNATURE

DATE

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LIFE-SAFETY / EGRESS PLAN



OCCUPANCY & EGRESS

Use	R-3 single-family dwelling (existing)
Occupant load	Per IRC — low (dwelling)
Exits	2 — front entry + rear glazed door
Egress windows	EERO at sleeping rooms (IRC R310)
Travel	Open plan — direct to exits

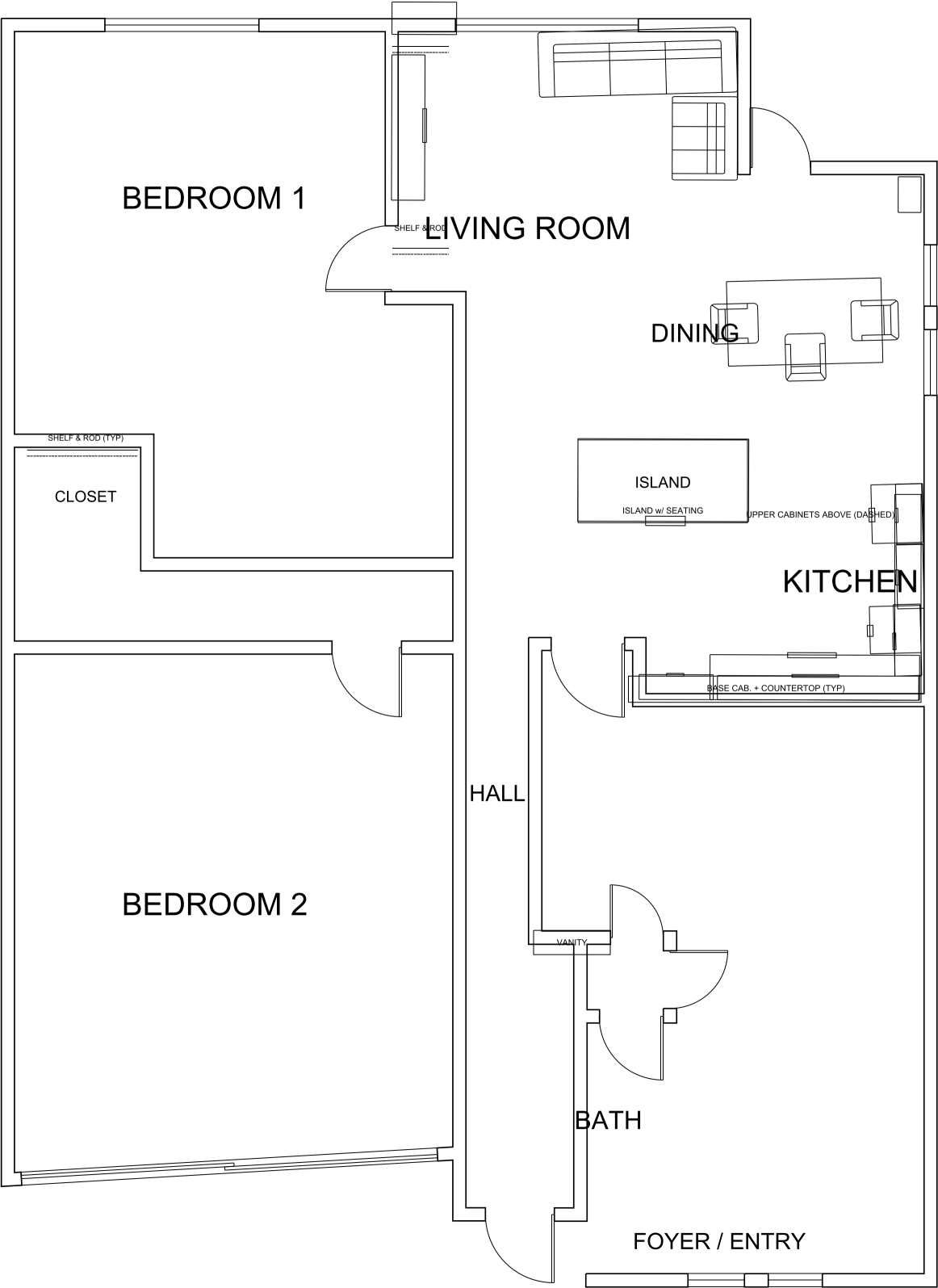
LIFE-SAFETY DEVICES

- Smoke alarms each sleeping room + hall + each level, interconnected w/ battery backup (R314).
- CO alarms outside sleeping areas (R315).
- EERO clear opening at bedrooms (R310).
- Tempered glazing at hazardous locations (R308).
- Stairs/ramps/handrails N/A (single level).

LEGEND

SD	Smoke alarm (existing)
CO	Carbon-monoxide alarm
EX	Required exit (egress)
EERO	Emergency escape/rescue opening

Existing devices identified from field capture;
final life-safety design, counts & locations by
the Architect/Engineer of Record per IRC.



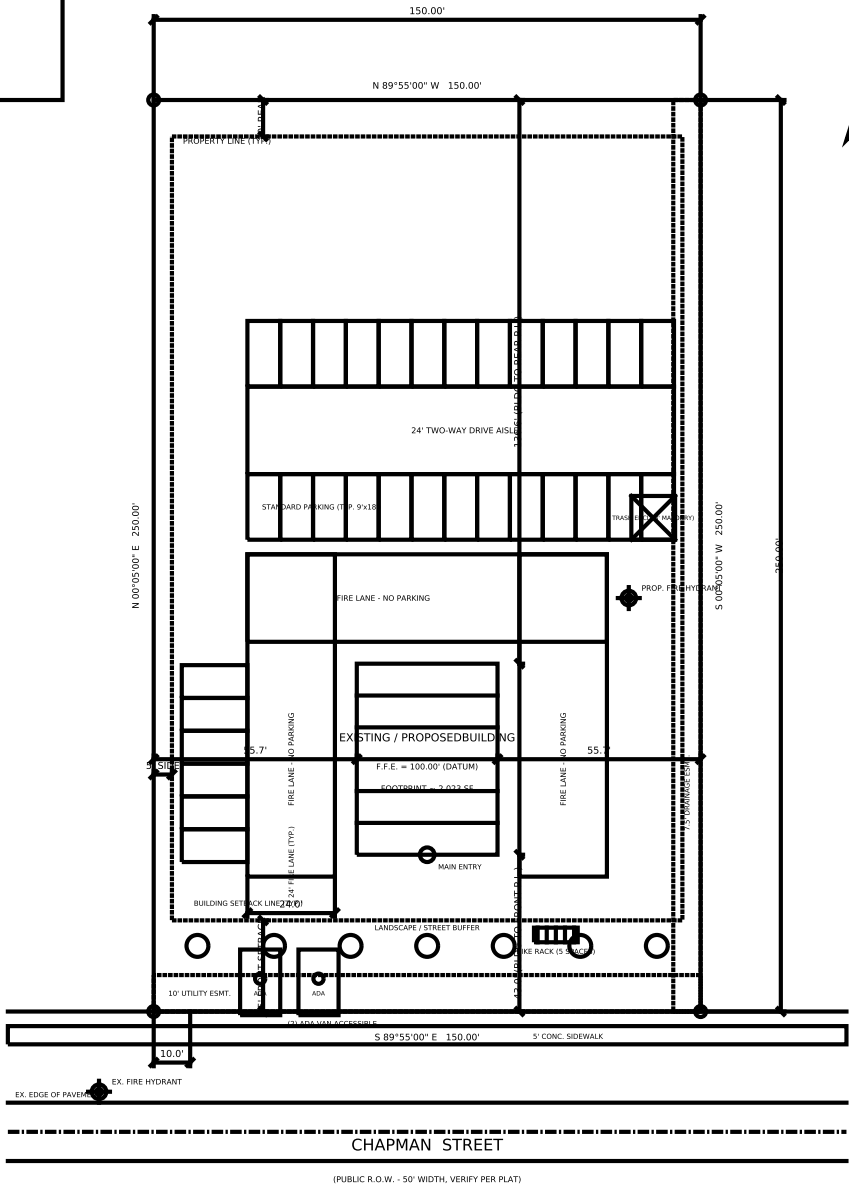
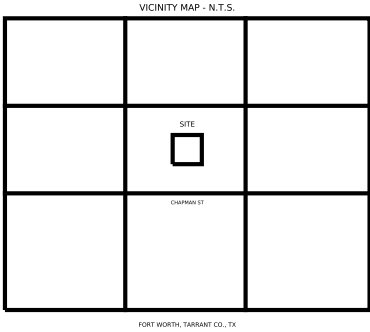
GRAPHIC SCALE: do not scale drawing · written dimensions govern

MARK	SIZE (W x H)	TYPE	QTY
0	2.5		
5 ft			

DOOR SCHEDULE

WINDOW SCHEDULE

MARK	SIZE (W x H)	TYPE	QTY



SITE DATA TABLE

LOT AREA	37,500 SF (0.861 AC) *
BUILDING FOOTPRINT	2,023 SF *
LOT COVERAGE	5.4%
PARKING REQUIRED	PER USE / CITY
PARKING PROVIDED	32 STD + 2 ADA = 34
BICYCLE PARKING	5 SPACES
FRONT SETBACK	25' *
SIDE SETBACK	5' *
REAR SETBACK	10' *
FIRE LANE	24' WIDE
* VERIFY PER SURVEY / PLAT / ZONING	

- GENERAL / SITE PLAN NOTES
- ALL DIMENSIONS IN FEET. BEARINGS & DISTANCES SHOWN ARE PRELIMINARY. CONFIRM WITH RECORDED PLAT / BOUNDARY SURVEY.
 - CONTRACTOR TO VERIFY ALL EASEMENTS OF RECORD W/ TITLE COMMITMENT PRIOR TO CONSTRUCTION.
 - FIRE LANES TO BE STRIPED & SIGNED "FIRE LANE - NO PARKING". PER FORT WORTH FIRE DEPT.: 24' MIN. WIDTH, 30' INSIDE TURN R. ALONG FIRE LANE; 500' TO BLDG. (VERIFY W/ FIRE MARSHAL).
 - FIRE HYDRANTS PER CITY OF FORT WORTH STD.; MAX. 300' SPACING.
 - ACCESSIBLE PARKING & ROUTES PER TADA ADA.
 - ALL WORK PER CITY OF FORT WORTH STANDARDS & APPLICABLE CODES.
 - SITE PLAN TO BE COMBINED W/ ARCHITECTURAL SHEETS INTO A SINGLE PLATTENED, NON-PASSWORD PDF FOR ONLINE SUBMITTAL.



SITE PLAN / PLOT PLAN

4914 CHAPMAN STREET - FORT WORTH, TEXAS

JALM INDUSTRIAL SOLUTIONS LLC

Reality Capture - As-Built - CAD Production

PROJECT:

4914 CHAPMAN ST SITE

FORT WORTH, TEXAS 76105

SHEET TITLE:

SITE PLAN / PLOT PLAN

PROJECT No. JALM-2026-0608

ADDRESS 4914 CHAPMAN ST

CITY / ZIP FORT WORTH, TX 76105

COUNTY TARRANT

ZONING VERIFY W/ CITY (TBD)

SCALE 1" = 20' (ARCH-D 36x24)

UNITS U.S. SURVEY FEET

DRAWN BY J.

DATE 2026-06-20

SHEET No. C-1

PRELIMINARY - NOT FOR CONSTRUCTION

Dimensions Tagged "N/A" to be confirmed per boundary survey prior to construction & zoning prior to submittal.

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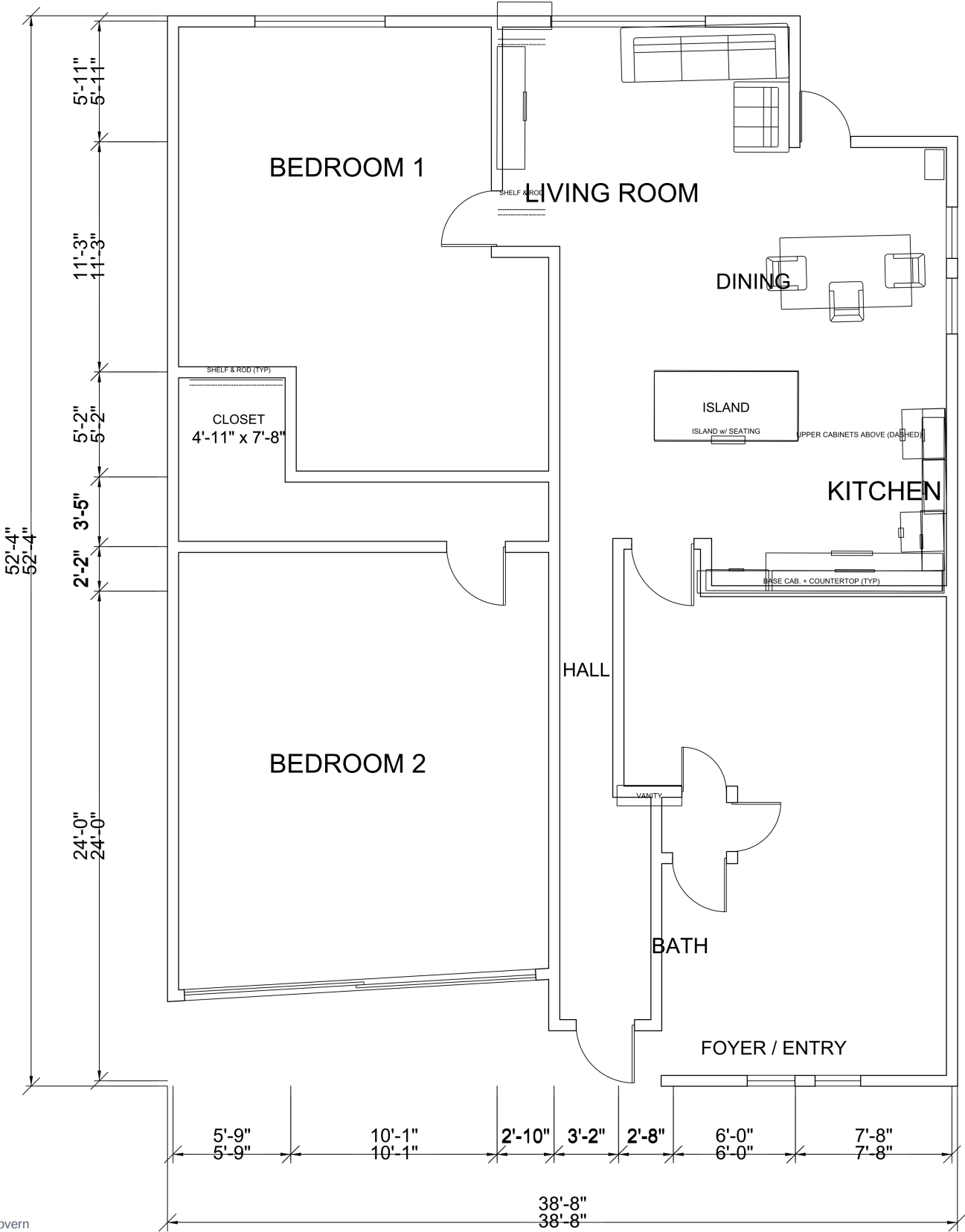
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SHEET TITLE
AS-BUILT FLOOR PLAN

NOTES

- Dims from the JALM
- identified model —
- verify in field.
- Open areas: see
- exterior chains.
- Casework/openings
- from field capture.
- Schedules on A-2.



GRAPHIC SCALE · do not scale drawing · written dimensions govern
0 2.5 5 ft

SCHEDULES & GENERAL NOTES

DOOR SCHEDULE

MARK	SIZE (W x H)	TYPE / REMARKS	QTY
D1	3'-0" x 6'-8"	Exterior entry, insulated, w/ transom	1
D2	2'-8" x 6'-8"	Interior, solid core	2
D3	2'-6" x 6'-8"	Interior bath, hollow core	1
D4	5'-0" x 6'-8"	Closet bi-fold	2
D5	6'-0" x 6'-8"	Rear glazed / patio (2nd egress)	1

WINDOW SCHEDULE

MARK	SIZE (W x H)	TYPE / REMARKS	QTY
W1	6'-0" x 4'-0"	Single-hung, bedroom (verify EERO)	2
W2	3'-0" x 4'-0"	Single-hung	2
W3	2'-0" x 4'-0"	Fixed / obscure (bath), tempered	1
W4	4'-0" x 4'-0"	Slider, living	2

Sizes are typical residential defaults — verify all in field. Confirm tempered glazing (R308) & egress (R310).

GENERAL NOTES

- All work per 2021 IRC + City of Fort Worth amendments.
- Do not scale; written dimensions govern.
- Contractor to verify all dims & existing conditions.
- Smoke + CO alarms per IRC R314/R315, interconnected.
- EERO at sleeping rooms per IRC R310.
- Tempered glazing at hazardous locations (R308).
- GFCI / AFCI protection per NEC 210.
- MEP by licensed, Fort Worth-registered trades.
- Structural changes → sealed plan by Texas P.E.
- Energy compliance via REScheck (IECC 2021).
- This is an existing-conditions base; proposed design,
 - calcs & seals by the Architect/Engineer of Record.

ABBREVIATIONS

AFF above finished floor · TYP typical · NTS not to scale
GFCI ground-fault · EERO emergency escape/rescue opening
U.O.N. unless otherwise noted · V.I.F. verify in field

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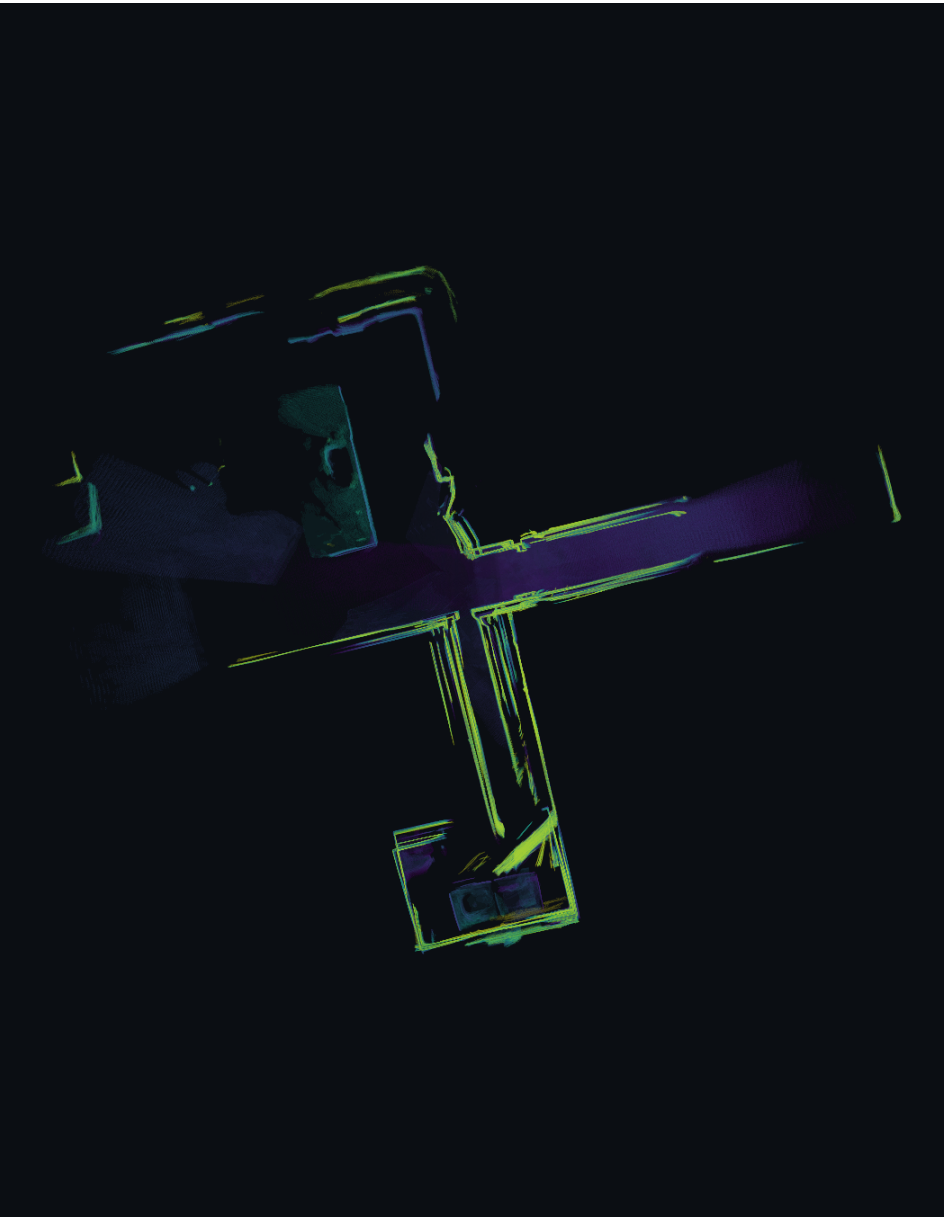
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EXISTING-CONDITIONS DOCUMENTATION

Survey-grade reality capture of the existing dwelling — the verified base for this set.
3D POINT CLOUD — PLAN VIEW



Registered laser/LiDAR capture — colour by elevation



EXTERIOR / DRIVEWAY



ENTRY / PORCH



LIVING / GREAT ROOM



KITCHEN



INTERIOR



INTERIOR

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CAPTURE METHOD & ACCURACY

3D SCAN

iPad LiDAR / SiteScape — registered point cloud of full interior + shell

360 PHOTO

Insta360 X5 panoramas per room — visual existing-conditions record

MEASURE

Leica DISTO targets + report — scale & dimensional control

GEO

GPS-located: 32.72356, -97.24887 · 4914 Chapman St

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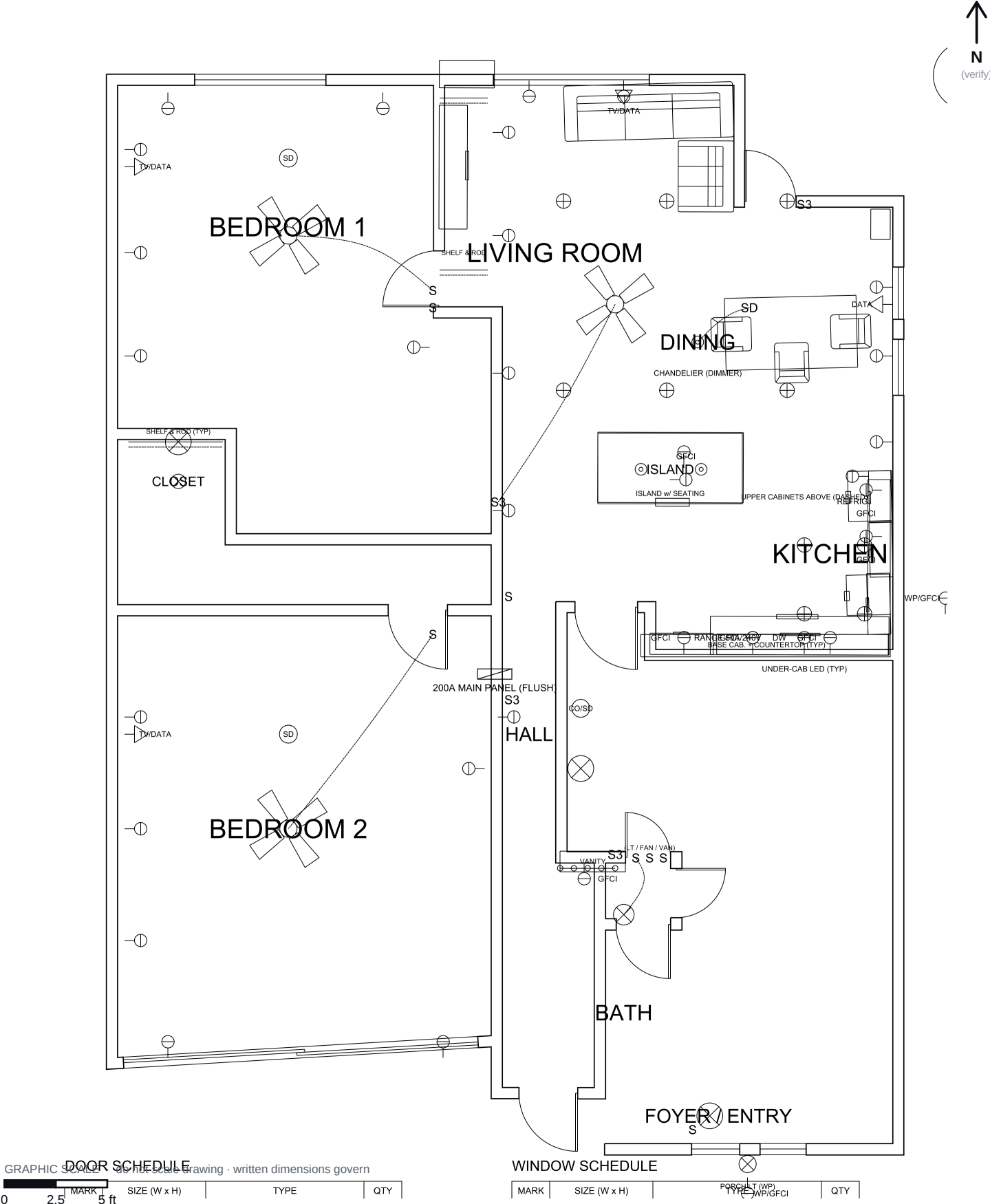
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ELECTRICAL — POWER & LIGHTING (EXISTING)



- Duplex receptacle / GFCI
- ✕ Lighting / ceiling fan
- S Switch (S3 = 3-way)
- P 200 A main panel (flush)
- Data / comm
- SD Smoke / CO alarm

EXISTING MEP INVENTORY

(identified from 360 capture — verify counts in field)

Kitchen

240V range/oven, microwave, DW, fridge, GFCI counters, recessed cans, island pendants

Living/Dining

Recessed cans, ceiling fans, TV power/data, switched lighting

Bedrooms

Receptacles, ceiling fan/light, switch, smoke alarm

Bath

GFCI, vanity light, exhaust fan

Hall/Foyer

Pendant + flush mounts, smoke/CO alarm, switches

Service

200 A main panel (flush), exterior meter, overhead service

NOTES

- All work per 2020 NEC + local amendments.
- AFCI/GFCI per NEC 210; verify circuits & loads.
- Home-runs schematic; final circuiting, load calc &
- panel schedule by licensed electrician of record.

GRAPHIC SCALE: as not scale drawing · written dimensions govern

MARK	SIZE (W x H)	TYPE	QTY
0	2.5	5 ft	

WINDOW SCHEDULE

MARK	SIZE (W x H)	POST (WP)	TYPE (WP/GFCI)	QTY

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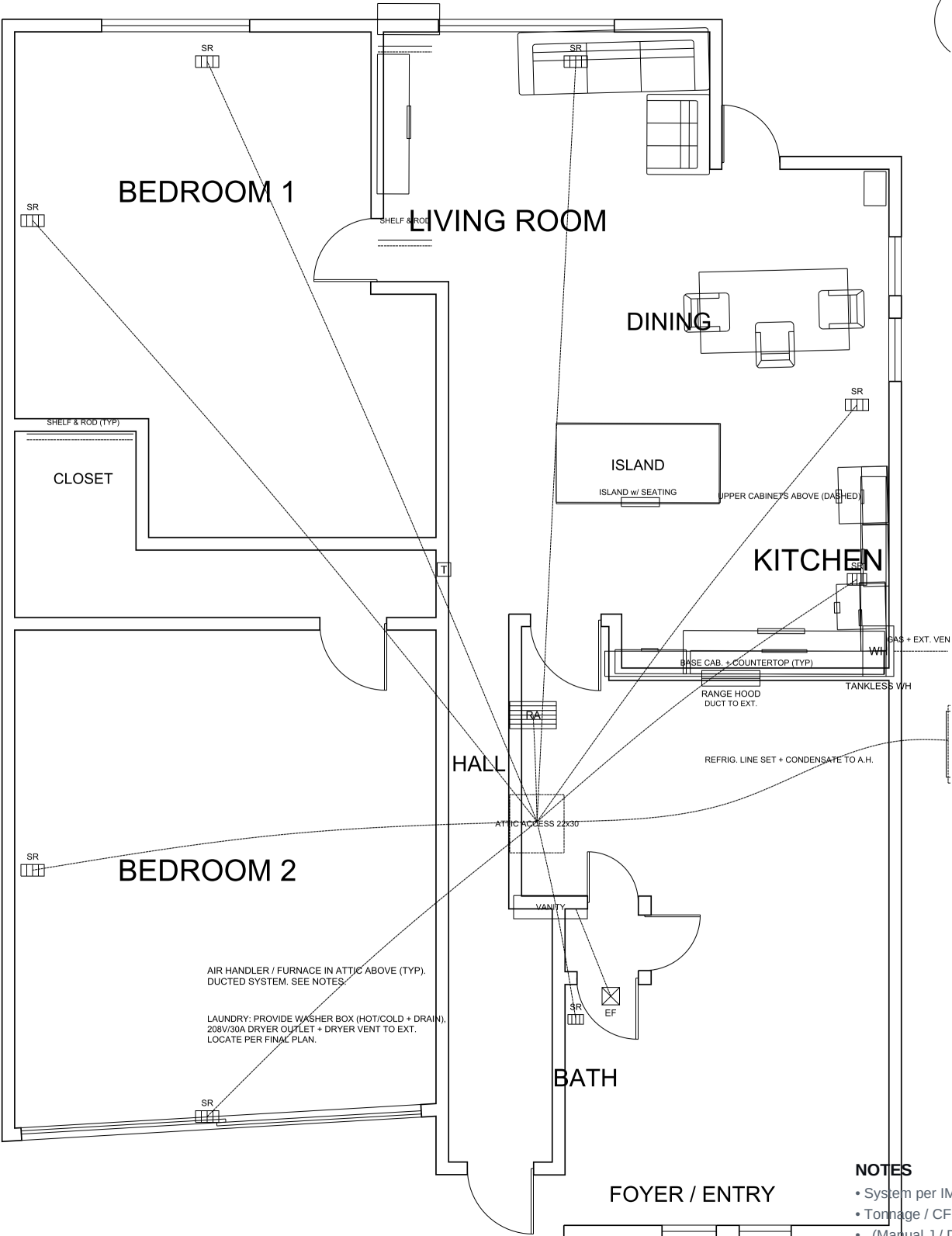
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SHEET TITLE
MECHANICAL / HVAC PLAN

- LEGEND
- S Supply register
 - R Return grille
 - T Thermostat
 - CU Condenser / RTU



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MARK	SIZE (W x H)	TYPE	QTY
0	2.5	5 ft	

WINDOW SCHEDULE

MARK	SIZE (W x H)	TYPE	QTY

- NOTES
- System per IMC / IRC — central split, ducted.
 - Tonnage / CFM / duct sizing by licensed HVAC
 - (Manual J / D / S) of record.
 - Range hood & bath exhaust ducted to exterior.

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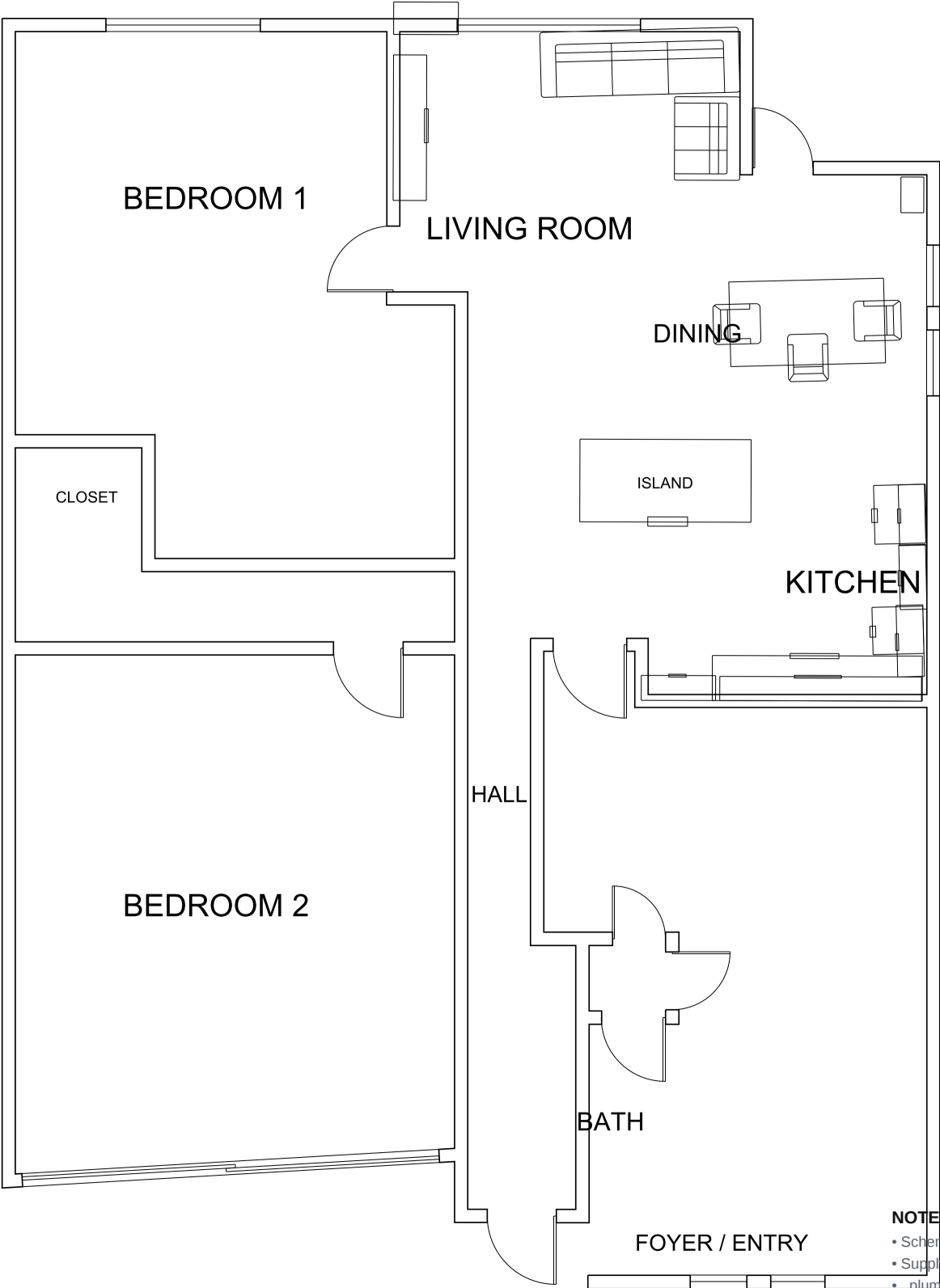
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- LEGEND
- KS Kitchen sink
 - WC Water closet
 - LAV Lavatory
 - WH Water heater



- NOTES
- Schematic fixture locations from field capture.
 - Supply / DWV / gas sizing & risers by licensed plumber of record.
 - All work per 2021 IPC / IFGC + amendments.

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MARK	SIZE (W x H)	TYPE	QTY
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WINDOW SCHEDULE

MARK	SIZE (W x H)	TYPE	QTY
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