

Field Reality. Technical Clarity.

AS-BUILT DOCUMENTATION PACKAGE

Combo 2 - Permit-Ready Base

PROJECT

4914 Chapman St

Fort Worth, TX 76105 - Tarrant County

PROJECT No.

JALM-2026-0608

DATE

2026-06-24

AREA

~1,620 sq ft



What JALM delivers

We document the existing building with precision, identify everything in it, and hand off a clean, navigable base - ready for your architect / engineer to design & seal, and for the GC to execute.

COMBO 1

IN THIS PACKAGE

Documentation

- ✓ Existing floor plan
- ✓ Navigable 360 tour
- ✓ Element catalog (AI-identified)
- ✓ Online portal + Project Assistant

COMBO 2

IN THIS PACKAGE

Permit-Ready Base

- ✓ Everything in Combo 1
- ✓ Schedules (doors / windows / fixtures)
- ✓ Clean DXF + existing MEP plans
- ✓ Scope + quote + timeline

COMBO 3

YOUR PARTNER PRO

Turn-Key

- ✓ Everything in Combo 2
- ✓ Proposed design (architect)
- ✓ Engineering + load calcs
- ✓ Sealed & permitted set

Honest scope: JALM owns the real, fast, identified base (capture -> as-built -> portal). Licensed design, calculations and seals are by your architect / engineer partner.

Reality capture

Every measurement, element and photo captured on the same coordinate system - geometry, points, 360 and point cloud aligned.

9

360 positions

14

field figures (Leica)

40+

elements identified

~1,620

sq ft documented

Site & coordinates

Address

4914 Chapman St, Fort Worth, TX 76105

GPS

N 32 43' 24.8" W 97 14' 55.9"

Decimal

32.72356, -97.24887

County

Tarrant

Captured

2026-06-19 (Leica DISTO field)

Method & toolkit

✓ Leica DISTO X6 - geometry (walls, openings, heights)

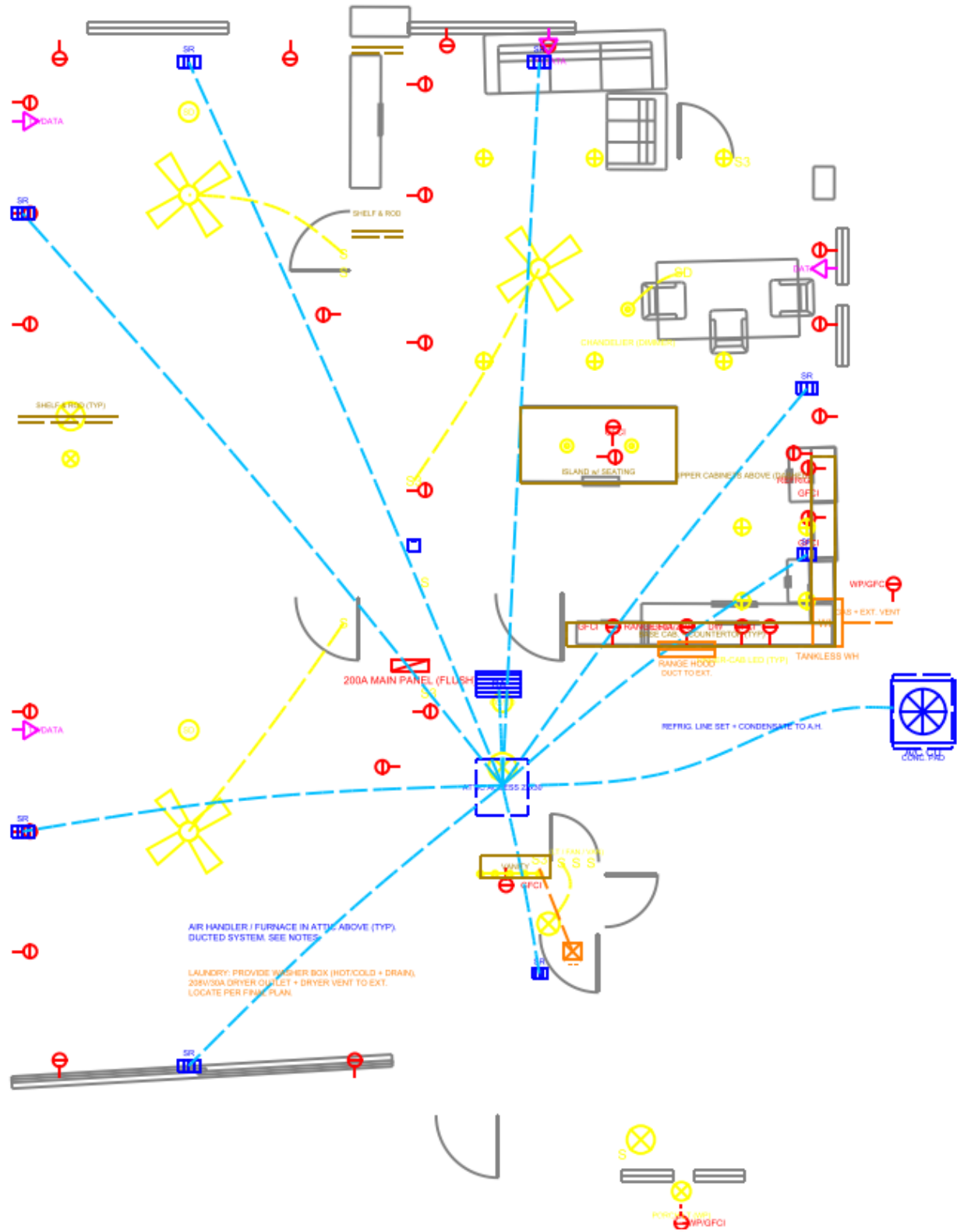
✓ Leica X6 point mode - 1 point per element (located)

✓ Insta360 X5 - navigable 360 at each position

✓ Sitescape (iPad) - 3D point cloud backup

✓ AI over 360s - auto-labels every element

✓ 3 reference points keep everything aligned



EXISTING

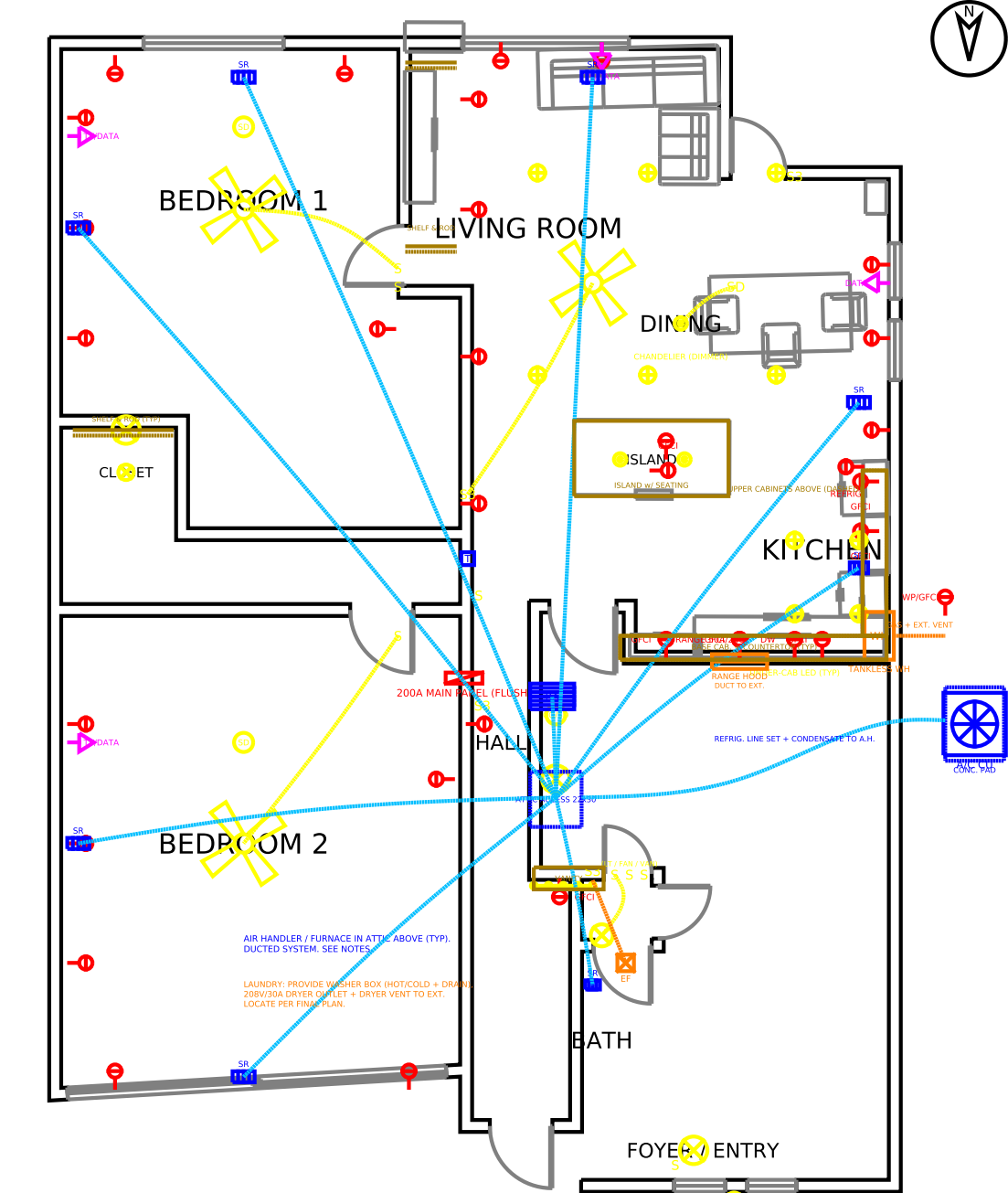
Overall
~36'-2" x 44'-1"

Area
~1,620 sq ft

Stories
1

Source
Leica + 3D scan

NTS - verify in field.



ELECTRICAL LEGEND

- ⦿ DUPLEX RECEPTACLE 15A/120V
- ⦿ QUAD / DBL-DUPLEX RECEPTACLE
- ⦿ GFCI RECEPT. (WP = WEATHERPROOF)
- ⦿ 240V DEDICATED OUTLET (RANGE/DRYER)
- S SWITCH: SP / 3-WAY (S3) / DIMMER (SD)
- ⦿ CEILING LIGHT FIXTURE
- ⦿ RECESSED CAN / DOWNLIGHT
- PENDANT / CHANDELIER
- ✂ CEILING FAN w/ LIGHT
- VANITY / WALL LIGHT BAR
- ⦿ SMOKE DET. (SD) / CO COMBO
- ⦿ TV / DATA / COMM OUTLET
- ⦿ ELECTRICAL PANEL 200A

ELECTRICAL NOTES

- ALL WORK PER NEC (NFPA 70) + LOCAL AHJ.
- ARC-FAULT (AFCI) PROTECT 120V 15/20A BR, LR, DINING, HALL & SIMILAR CIRCUITS.
- GFCI PROTECT KITCHEN, BATH, LAUNDRY, GARAGE, EXTERIOR & WET-AREA RECEPTACLES.
- TAMPER-RESISTANT RECEPTACLES THROUGHOUT.
- RECEPT. SPACING: NO POINT ALONG WALL > 6'-0".
- KITCHEN: MIN. (2) 20A SMALL-APPLIANCE CIRCUITS.
- SMOKE/CO DETECTORS HARD-WIRED + INTERCONNECTED w/ BATTERY BACKUP; EA. BEDROOM + EA. LEVEL.
- MOUNTING (AFF): RECEPT. 15", SWITCHES 44", COUNTER RECEPT. +6" ABOVE COUNTER.
- VERIFY PANEL LOCATION, SERVICE SIZE & LOAD CALC w/ LICENSED ELECTRICIAN / ENGINEER.

HVAC (A/C) LEGEND

- ⦿ SUPPLY AIR REGISTER
- ⦿ RETURN AIR GRILLE
- ⦿ THERMOSTAT
- ⦿ OUTDOOR CONDENSING UNIT (A/C)
- ⦿ SUPPLY DUCT / REFRIG. (SCHEMATIC)
- ⦿ AIR HANDLER / ATTIC ACCESS

MECH. / CARPENTRY LEGEND

- ⦿ WATER HEATER (TANKLESS, GAS)
- ⦿ RANGE HOOD (EXHAUST TO EXT.)
- ⦿ EXHAUST FAN (DUCTED TO EXT.)
- ⦿ MILLWORK / CABINETRY (CARPENTRY)

HVAC (A/C) NOTES

- SYSTEM PER IMC / IRC + LOCAL AHJ.
- CENTRAL SPLIT SYSTEM: ATTIC AIR HANDLER / FURNACE + OUTDOOR CONDENSING UNIT ON PAD.
- SUPPLY REGISTER EA. CONDITIONED ROOM + CENTRAL RETURN AIR GRILLE.
- DUCT / LINE-SET ROUTING SHOWN SCHEMATIC ONLY.
- CONDENSATE TO APPROVED DRAIN; PRIMARY + SECONDARY PAN / SWITCH AT ATTIC UNIT.
- TONNAGE, CFM, DUCT & REFRIG. SIZING BY LICENSED HVAC DESIGNER (MANUAL J) / D / S).

MECHANICAL / CARPENTRY NOTES

- BATH & LAUNDRY EXHAUST FANS DUCTED TO EXT.
- RANGE HOOD VENTED TO EXTERIOR.
- TANKLESS WATER HEATER: GAS + COMBUSTION / EXHAUST VENT TO EXT. PER MFR.
- DRYER VENT TO EXT. MAX. LENGTH PER CODE.
- CARPENTRY: CABINETS, COUNTERS, CLOSET SHELF & ROD, VANITY & TRIM PER FINISH SCHEDULE.
- VERIFY ALL CABINET / APPLIANCE SIZES IN FIELD.

DOOR SCHEDULE

MARK	SIZE (W x H)	TYPE	QTY
D1	3'-0" x 6'-8"	EXT. ENTRY, INSULATED	1
D2	2'-8" x 6'-8"	INT. SOLID CORE	2
D3	2'-6" x 6'-8"	INT. BATH, HOLLOW	1
D4	5'-0" x 6'-8"	CLOSET BI-FOLD	2
D5	6'-0" x 6'-8"	SLIDING / PATIO	1

NOTE: DOOR & WINDOW SIZES ARE TYPICAL RESIDENTIAL DEFAULTS - VERIFY ALL IN FIELD.

WINDOW SCHEDULE

MARK	SIZE (W x H)	TYPE	QTY
W1	6'-0" x 4'-0"	SINGLE-HUNG, BEDROOM	2
W2	3'-0" x 4'-0"	SINGLE-HUNG	2
W3	2'-0" x 4'-0"	FIXED / OBSCURE (BATH)	1
W4	4'-0" x 4'-0"	SLIDER, LIVING	2

GRAPHIC SCALE (FEET)



JALM INDUSTRIAL SOLUTIONS LLC

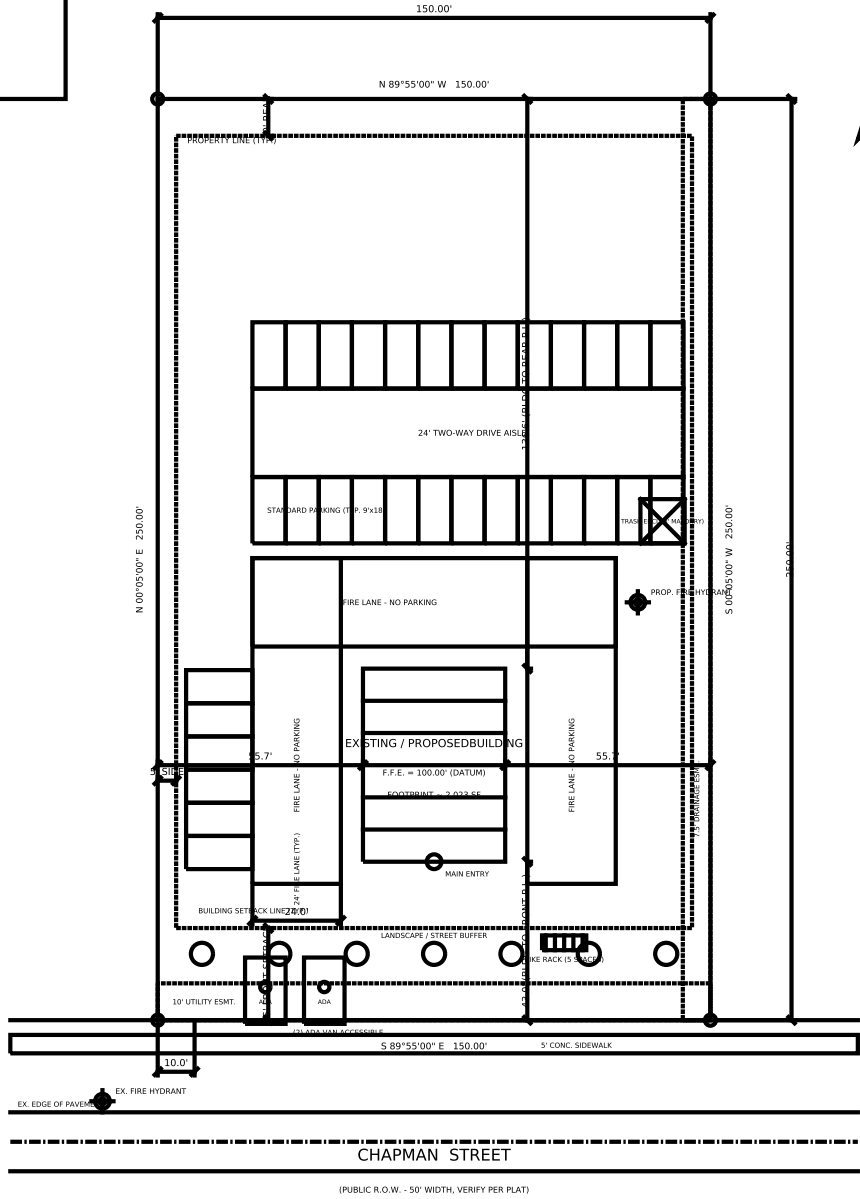
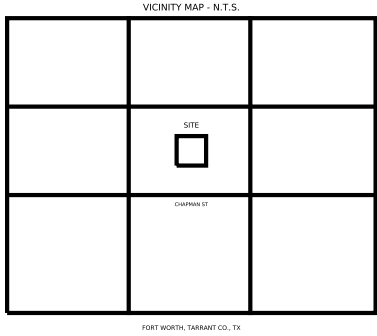
Reality Capture - As-Built Documentation - CAD Production

PROJECT: RESIDENTIAL FLOOR PLAN

SHEET: ELECTRICAL - HVAC - MECHANICAL - MILLWORK COORD. PLAN

DOCUMENTATION / COORDINATION SET. Base plan from field reality capture. Devices, equipment & routing shown reflect TYPICAL RESIDENTIAL DEFAULTS for layout coordination only and are NOT engineered construction documents. Final circuiting, load calcs, equipment sizing, duct / refrigerant design & code compliance (NEC / IRC / IMC / local AHJ) BY LICENSED MEP DESIGNER. VERIFY ALL FIELD DIMENSIONS.

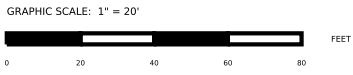
SHEET No.	ME-1
SCALE	AS NOTED
UNITS	INCHES
DRAWN	JL
DATE	2026-06-08



SITE DATA TABLE

LOT AREA	37,500 SF (0.861 AC) *
BUILDING FOOTPRINT	2,023 SF *
LOT COVERAGE	5.4% *
PARKING REQUIRED	PER USE / CITY
PARKING PROVIDED	32 STD + 2 ADA = 34
BICYCLE PARKING	5 SPACES
FRONT SETBACK	25' *
SIDE SETBACK	5' *
REAR SETBACK	10' *
FIRE LANE	24' WIDE
	* VERIFY PER SURVEY / PLAT / ZONING

- GENERAL / SITE PLAN NOTES
- ALL DIMENSIONS IN FEET. BEARINGS & DISTANCES SHOWN ARE PRELIMINARY. CONFIRM WITH RECORDED PLAT / BOUNDARY SURVEY.
 - CONTRACTOR TO VERIFY ALL EASEMENTS OF RECORD W/ TITLE COMMITMENT PRIOR TO CONSTRUCTION.
 - FIRE LANES TO BE STRIPED & SIGNED "FIRE LANE - NO PARKING" PER FORT WORTH FIRE DEPT. (24" MIN. WIDTH, 30' INSIDE TURN R).
 - FIRE HYDRANTS PER CITY OF FORT WORTH STD. (MAX. 300' SPACING ALONG FIRE LANE, 150' TO BLDG. (VERIFY W/ FIRE MARSHAL).
 - ACCESSIBLE PARKING & ROUTES PER TAS / ADA.
 - ALL WORK PER CITY OF FORT WORTH STANDARDS & APPLICABLE CODES.
 - SITE PLAN TO BE COMBINED W/ ARCH/ELEC/MECH/PLUMB SHEETS INTO A SINGLE FLATTENED, NON-PASSWORD PDF FOR ONLINE SUBMITTAL.



SITE PLAN / PLOT PLAN

4914 CHAPMAN STREET - FORT WORTH, TEXAS

JALM INDUSTRIAL SOLUTIONS LLC	
Reality Capture - As-Built - CAD Production	
PROJECT: 4914 CHAPMAN ST SITE FORT WORTH, TEXAS 76105	
SHEET TITLE: SITE PLAN / PLOT PLAN	
PROJECT No.	JALM-2026-0608
ADDRESS	4914 CHAPMAN ST
CITY / ZIP	FORT WORTH, TX 76105
COUNTY	TARRANT
ZONING	VERIFY W/ CITY (TRD)
SCALE	1" = 20' (ARCH-D 36x24)
UNITS	U.S. SURVEY FEET
DRAWN BY	JL
DATE	2026-06-20
SHEET No.	C-1
PRELIMINARY - NOT FOR CONSTRUCTION	
Dimensions Shown "VERIFY" to be confirmed per boundary survey/plot & zoning prior to submittal.	

Every element marked in the field (1 Leica point each) and auto-labeled by AI over the 360 photos. The technician confirms on site.

- Electrical
- Plumbing
- HVAC
- Architecture
- Life-safety

IA = detected

V = verify in field

Front / Site

- Meter/service, ext. lights x3, security cam

[IA]
- 2-car sectional door, covered porch, brick

[IA]
- A/C condenser - locate

[V]
- Driveway + ADA accessible route

[V]

Foyer / Entry

- Pendant lantern, switch, porch flush mount

[IA]
- Entry door w/ arched transom

[IA]
- Main egress + exit sign

[V]

Corridor / Hall

- Pendant, flush mount, switch / outlet

[IA]
- Smoke / CO detector

[IA]
- Ceiling supply diffuser

[IA]
- Office / room doors x2-3

[IA]

Open Living / Kitchen

- Recessed cans x6+, island pendants, fan

[IA]
- 240V range, microwave, 2x fridge, DW

[IA]
- Island sink + DW supply / drain

[IA]
- Supply registers + central return

[IA]

Conference / Dining

- Pendant, recessed cans, ceiling fan

[IA]
- Large windows x2-3 (daylight / egress)

[IA]
- Rear glazed door + sidelite (2nd egress)

[IA]

Break / Kitchen

- Cans x3, peninsula pendants x2

[IA]
- Range/oven 240V, microwave, GFCI

[IA]
- Kitchen sink + dishwasher

[IA]

PENDING CAPTURE (need 360):

Office 1, Office 2 / Exam, ADA Restroom, Storage - expected: egress window, data, outlets, lights, register, detector; ADA restroom w/ grab bars + GFCI.

DOOR SCHEDULE

MARK	SIZE	TYPE	QTY
D1	3'-0" x 6'-8"	Ext. entry, insulated	1
D2	2'-8" x 6'-8"	Int. solid core	2
D3	2'-6" x 6'-8"	Int. bath, hollow	1
D4	5'-0" x 6'-8"	Closet bi-fold	2
D5	6'-0" x 6'-8"	Sliding / patio	1

WINDOW SCHEDULE

MARK	SIZE	TYPE	QTY
W1	6'-0" x 4'-0"	Single-hung, bedroom	2
W2	3'-0" x 4'-0"	Single-hung	2
W3	2'-0" x 4'-0"	Fixed / obscure (bath)	1
W4	4'-0" x 4'-0"	Slider, living	2

FIXTURE SCHEDULE (existing)

TAG	LOCATION	FIXTURE	SUPPLY	DRAIN/VENT
KS	Kitchen	Sink (island) + faucet + DW	H/C	1-1/2" (vfy)
REF	Kitchen	Refrigerator water line	C	-
WC	Bathroom	Water closet	C	3" / 2" (vfy)
LAV	Bathroom	Lavatory	H/C	1-1/2" (vfy)
T/S	Bathroom	Tub / shower	H/C	2" (vfy)
WB	Laundry	Washer box	H/C	2" (vfy)
WH	Utility	Tankless water heater (gas)	H/C+gas	-

Sizes are typical residential defaults from field capture - verify all in field. Final fixture sizing / riser by licensed plumber.

Stills from the navigable 360 tour. Full walk-through + tagged elements live in the portal.



FRONT / STREET



GARAGE



PATIO / REAR



FOYER / ENTRY



HALL



LIVING



DINING



KITCHEN



LAUNDRY / UTILITY

Raw measured data (Leica DISTO). 'Wall area' = measured vertical wall surface. Floor area ~1,620 sq ft. Verify in field.

MEASURED FIGURES (inches)

FIG	MEASURED SEGMENTS	PERIMETER	WALL AREA
1	a 109 1/4	-	-
2	a 37 7/8 . b 143 3/8 . c 181 1/4 . d 76 1/4 . e 88 1/8 . f 265 1/8 . g 135 1/4	-	-
3	a 0	-	-
4	a 80 7/8 . b 31 3/4 . c 81 1/8 . d 31 3/4	225 5/8"	2,575.9 in2
5	a 57 3/4 . b 76 5/8 . c 57 5/8 . d 76 3/8	268 1/2"	4,416.9 in2
6	a 57 3/4 . b 76 5/8 . c 57 3/8 . d 76 5/8	268 1/2"	4,415.5 in2
7	a 110 1/4 . b 30 1/4 . c 109 1/8 . d 30 5/8	280 1/4"	3,340.4 in2
8	a 86 3/4 . b 74 1/4	-	-
9	a 0 . b 80 1/4	-	-
10	a 87 3/8 . b 32 1/4 . c 87 5/8 . d 32	239 3/8"	2,812.7 in2
11	a 179 . b 143 3/4 . c 179 5/8 . d 143 7/8	646 1/8"	25,774.5 in2
12	a 152 3/4	-	-
13	a 58 . b 76 5/8 . c 57 3/8 . d 76 5/8	268 3/4"	4,422.8 in2
14	a 100 1/8 . b 59 1/4	-	-

SCOPE

Existing-conditions documentation,
single-story residence (~1,620 sq ft).

As-built floor plan + existing MEP
(electrical / HVAC) from capture.

Element catalog (AI-identified) +
door / window / fixture schedules.

Clean DXF + navigable 360 portal
+ Project Assistant.

Scope tags for change / remove /
modify per work order.

ESTIMATE (preliminary)

3D scan	\$0.20-0.70 / sq ft
-> ~1,620 sq ft	~\$324-1,134

Modeling LOD 300	\$0.25-0.45 / sq ft
-> ~1,620 sq ft	~\$405-729

Project minimum	~\$2,500-3,000
Portal	per visit / flat monthly

Final price per signed work order & scope.

TIMELINE

DAY 1
Field capture (Leica + 360 + point cloud)

WEEK 1
As-built + element catalog + portal live

WEEK 2
Schedules + scope + quote; handoff to architect / engineer

Ready for handoff

Your clean, identified, navigable base is done. Your licensed partner designs and seals on top of it.

YOU HAVE NOW - JALM (Combo 2)

- ✓ Clean as-built floor plan + existing MEP
- ✓ AI-identified element catalog
- ✓ Door / window / fixture schedules
- ✓ Clean DXF + 360 navigable portal
- ✓ Scope + preliminary quote + timeline

YOUR ARCHITECT / ENGINEER ADDS - (Combo 3)

- + Proposed design (new layout)
- + Electrical / HVAC load calcs
- + Structural plan + P.E. seal (if needed)
- + Energy code (REScheck)
- + Permit submittal to Fort Worth (Accela)

Live navigable portal

Plan + 360 tour + tagged elements + reports + Project Assistant (answers the GC's questions with the source).

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QR labels installed on-site (panel, rooms, kitchen) redirect to each area in the portal.